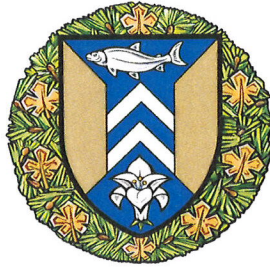


The Corporation of the
City of Sault Ste. Marie



Committee of Adjustment
April 29th, 2026
2:00 P.M.
Council Chambers
Livestreamed

AGENDA

Hearings viewed live on the City's YouTube channel.
<https://www.youtube.com/user/SaultSteMarieOntario>

Call to Order

- Introduction of Committee and Staff
- Declaration of Quorum
- Land Acknowledgement
- Approval of the Minutes of April 13th, 2026
- Disclosure of Pecuniary Interest and the General Nature Thereof
- Notice of Withdrawal or Motion for Deferral
- Matters To Be Considered

Deferred Applications

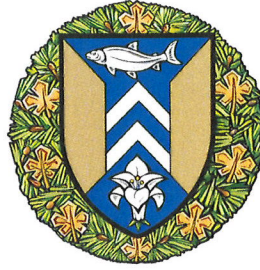
New Applications

- A7/26 Civic No. 83 Wemyss Street
- A8/26 Civic No. 164 River Road
- B5/26 Civic No. 153 Dacey Road
- B6/26 Civic No. 224 Bennett Boulevard
- B11/26 Civic No. 8 Bluffs Drive East
- B12/26 Civic No. 4 Bluffs Drive East
- **Other Business**
 - Next meeting is May 27th, 2026

➤ **Adjournment**

Michelle Kelly

Michelle Kelly, ACST
Secretary-Treasurer



Minor Variance

Application A7/26-8-(1-16)-2117-R2

GREGORY MARSHALL is the owner of Pt. Sec. 24, former Township of Korah, further described as Lot 13 & Pt. Lot 14, Himes Subdivision Plan 18594, former Township of St. Mary's municipally identified as **CIVIC NO. 83 WEMYSS STREET**. It is located on the south side of Wemyss Street between Euclid Avenue and Pine Street. It is designated Residential in the Official Plan and is zoned R2, Gentle Density.

THE APPLICATION:

The following variance is requested.

	By-Law 2005-150 Requires	Proposed Variance
4.2	A deck may project to within 1.2m of an interior lot line	Increase a deck projection including stairs & landing to the south easterly interior lot line , for a length of 3.289m
	A deck may project to within 3m of a rear lot line	Increase a deck projection including stairs & landing to the westerly rear lot line , for a length of 3.297m

INTENT:

The applicant proposes to construct a 125.5 m² deck including landing and stairs to attach to the rear entrance located on the easterly side of the existing 103-year-old home. The irregular lot configuration, and the location of the home restrict the ability to construct a serviceable landing and staircase and makes it impossible to include a deck addition within the current by-law regulations.

Public Input

Notice of public hearing was sent by personal mail to neighbouring properties, by posting a sign on-site & posting on the City website. No response was received from neighbouring property owners.

Technical Review: Circulated Departments & Agencies

As part of the application review, this proposal was circulated to the following internal departments and external agencies for their review.

Division/Agency	Circulated	Response
Building Division	X	
Canada Post		
Conservation Authority	X	
Engineering & Construction	X	
Fire Services	X	No comments or concerns
Legal Department	X	
Planning Division	X	See comments below
PUC Distribution Inc. (Electric)	X	No concerns
Public Utilities Comm. (Water)	X	No concerns
Public Works		

Planning staff have reviewed this application and wish to note: the subject property is constrained by an irregular lot configuration, limiting the ability to provide functional outdoor amenity space in compliance with the Zoning By-law. While the requested setback reduction is significant, it is understood that the applicant is agreeable to limiting the height of the deck to less than 0.5 metres above grade. This reduces concerns regarding overlook and visual impact on the immediately adjacent property. In addition, an existing garage/shed on that adjacent property provides visual screening and further mitigates potential privacy impacts.

Staff also note that parts of the area subject to the variance have been used as a patio and amenity space in the past, without apparent adverse impacts.

Planning staff are satisfied that the application meets the four tests of a minor variance and recommend that they be approved, subject to the following conditions:

- That the height of the deck within the area subject to the variance shall not exceed 0.5 metres above established grade, as measured in accordance with the Zoning By-law, excluding any stairs required for access from the dwelling; and

no roof shall be permitted over the portion of the deck located within the area subject to the variance.

Staff Comments/Recommendations(s)

The applicant has revised his construction plans to satisfy planning staff's request to lower the deck height. No evidence has been provided to suggest that approval would create a negative impact.

It is recommended that the following conditions be attached to any approval.

- 1. That the height of the deck within the area subject to the variance shall not exceed 0.5 metres above established grade, as measured in accordance with the Zoning By-law, excluding any stairs required for access from the dwelling.**
- 2. A roof is not permitted over the portion of the deck located within the area that is subject to the variance.**

020035024000000

Hamilton Avenue

020034027000000

76

020034028000000

80

020034029000000

84

020034030000000

86

020034031000000

90

020034032000000

92

020034033000000

Wemyss Street

Subject Property

020035004000000

020035005000000

020035006000000

020035007000000

020035008000000

020035022000000

7-26

83

020035010000000

30

020035011000000

34

020035012000000

38

020035013000000

40

020035021000000

020035021000000

85

020035020000000

020035020000000

89

020035019000000

020035019000000

91

020035001000000

22

020035002000000

26

020035003000000

28

Euclid Road

020036013000000

Application Map Series

Subject Property

Property Information

Civic Address: 83 Wemyss Street
Roll No. 020 035 022 00 0000
Map No.: 18/1-16
Application No.: A7/26



Committee of Adjustment

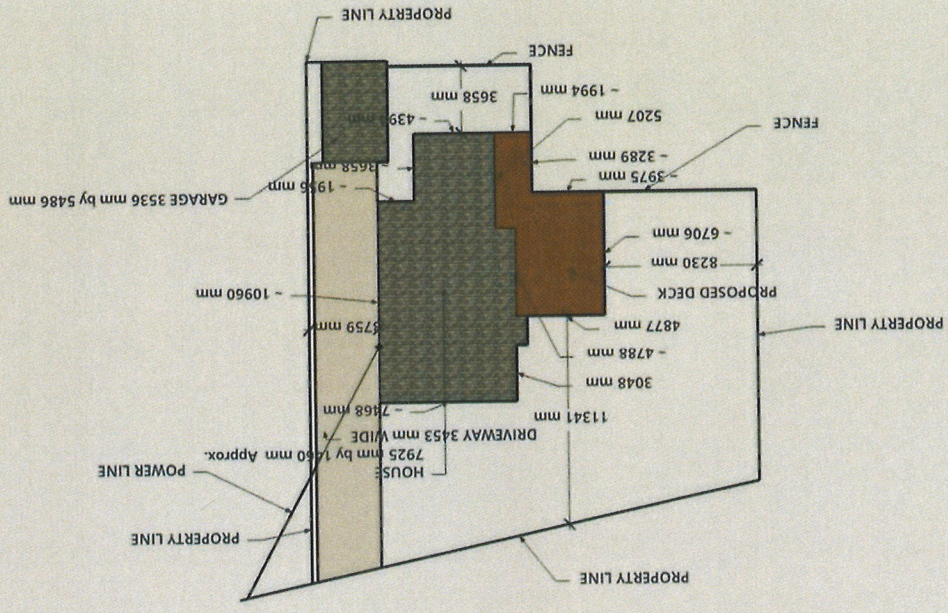
Planning and Enterprise Services Division
99 Foster Drive, Sault Ste Marie, ON P6A 5X6
saulesmarie.ca | 705-759-5411 | m.kelly@cityssm.on.ca

This map is for general reference only

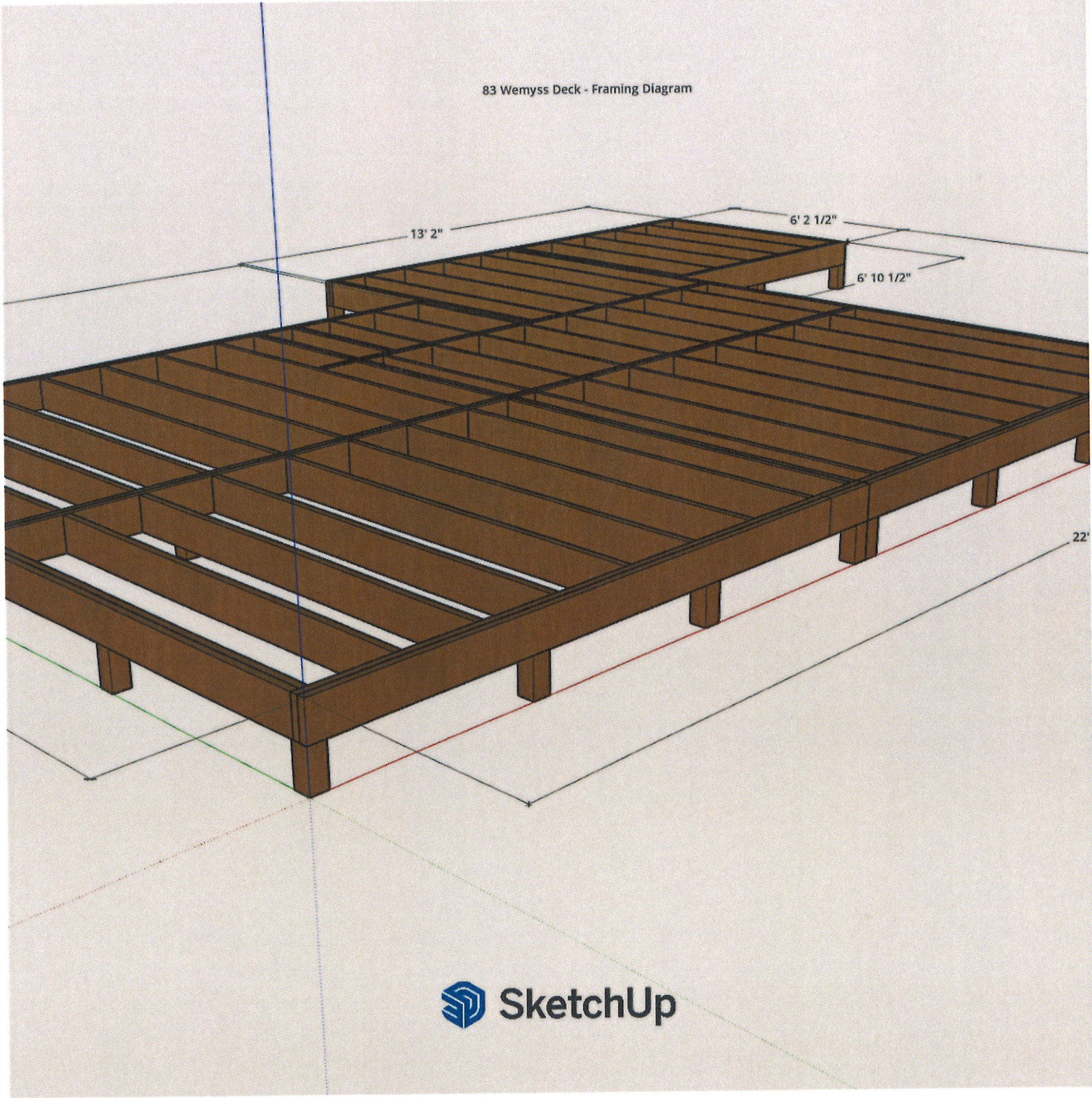
Ontario: NADA
Projection: NAD83
NAD 1983 UTM Zone 18N
GCS North America 1983



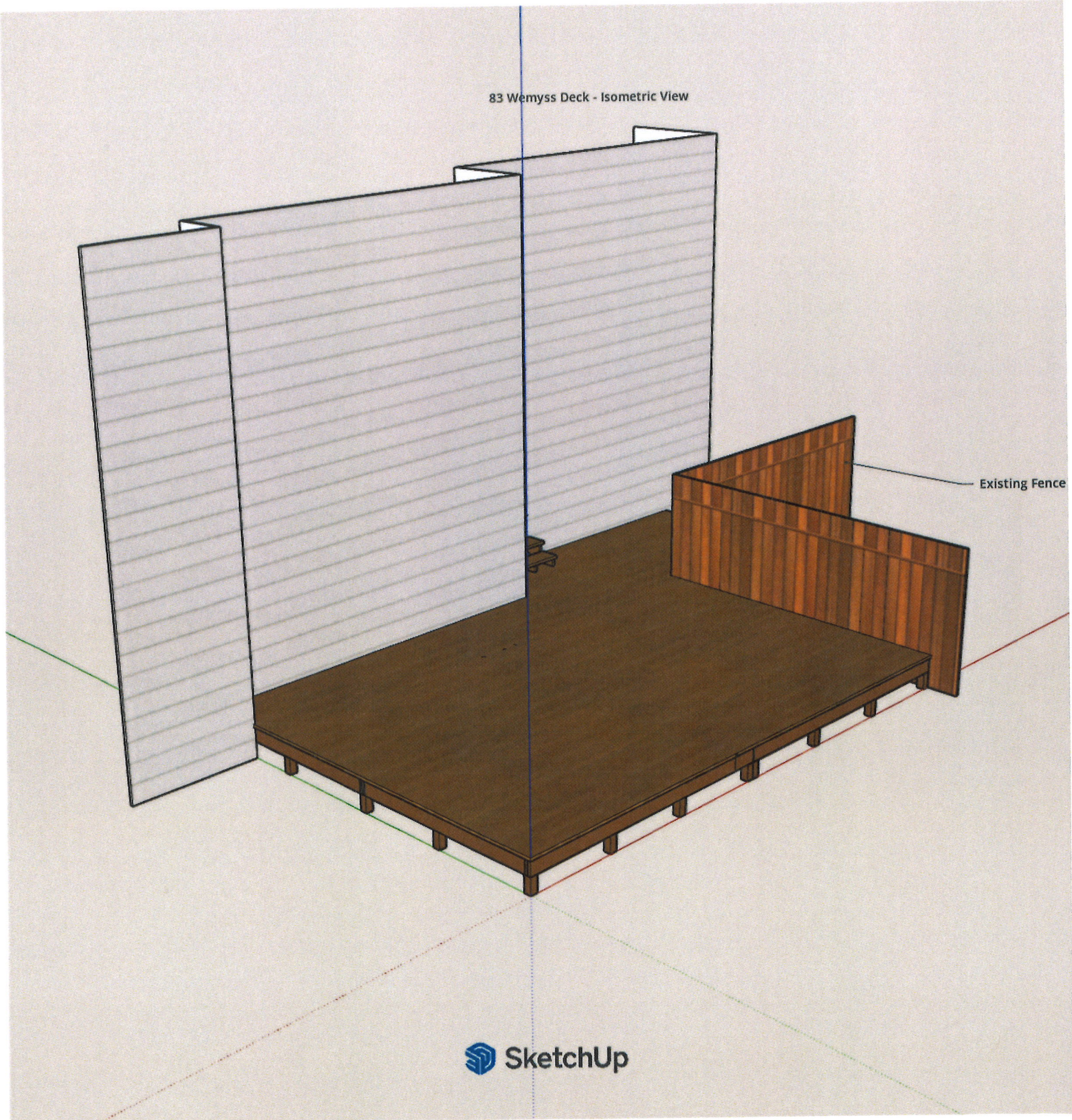
83 WEMYSS RD PROPOSED DECK SITE PLAN



83 Wemyss Deck - Framing Diagram



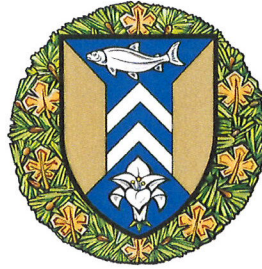
83 Wemyss Deck - Isometric View



Existing Fence







Minor Variance

Application A8/26-25-(1-25)-25009-R2

ERGO OFFICE PLUS (Paul Scornaienchi) is the owner of Pt. Lot 10, Rankin River Range Location, Pt. 1, 1R4236, municipally identified as **CIVIC NO. 164 RIVER ROAD**. It is located on the north westerly side of River Road between Murphy Street and Dacey Road. It is designated Residential in the Official Plan and is zoned R2, Gentle Density.

THE APPLICATION:

The following variance is requested.

	By-Law 2005-150 Requires	Proposed Variance
9.6.2	Minimum rear yard setback for 2 storey structure with living unit is 10m	Reduce the minimum rear yard setback for a 2-storey structure with living unit from 10m to 1.8m

INTENT:

The applicant proposes to construct a 76m² (850ft.²) 2-storey structure which will include a second living unit overtop of a 2-car garage. The applicant intends to provide fire rated and factory obscure privacy glass on any openings located on the rear wall of the proposed structure.

Public Input

Notice of public hearing was sent by personal mail to neighbouring properties, by posting a sign on-site & posting on the City website. No response was received from neighbouring property owners.

Technical Review: Circulated Departments & Agencies

As part of the application review, this proposal was circulated to the following internal departments and external agencies for their review.

Division/Agency	Circulated	Response
Accessibility Coordinator		
Algoma Public Health		
Bell Canada Right-of-Way		
Building Division	X	Comments below
Canada Post		

Conservation Authority	X	Comments below
Engineering & Construction	X	Comments below
Fire Services	X	No comments or concerns
Legal Department	X	No comment
Planning Division	X	Comments below
PUC Distribution Inc. (Electric)	X	Comments below
Public Utilities Comm. (Water)	X	Comments below
Public Works		

Building Division has no objection to the proposed Minor Variance. However, it is noted that permit 2025-0634 for the replacement of shingles and permit 2022-1105 for the construction of a rear yard deck, remain open for this property and have not yet had any inspections. The inspections must be requested and the work confirmed in compliance with the Ontario Building Code.

Conservation Authority (SSMRCA) advised that based on current regulated area mapping, the lands subject to this minor variance application are not located within a regulated area as defined by O.Reg. 41/24 (i.e., floodplain, erosion hazard, dynamic beach, wetland, or associated allowances). SSMRCA has no concern or objections to this proposed development.

Engineering staff have no concerns. They wished to advise the applicant that there have been drainage issues reported from within this subdivision. If a rear yard swale does not currently exist, one may be required in the future. Existing drainage patterns should be maintained.

Planning staff have reviewed the application and are of the opinion that the variance, as requested, does not satisfy the four tests. The application proposes a detached residential structure in a “garage loft” form, approximately 6.3 metres in height, with a rear yard setback of 1.8 metres, whereas a minimum rear yard setback of 10 metres is required.

Although the applicant has referenced reduced setback requirements applicable to accessory buildings and 1-storey residential buildings, the proposed structure includes a second-storey residential component and represents a more substantial built form. In staff’s opinion, the requested relief is excessive and raises concerns regarding privacy, overlook, and compatibility with the residential property to the rear.

While some reduction to the required rear yard setback may be appropriate in this context, staff are of the opinion that 1.8 metres is not appropriate given the scale and residential nature of the proposed structure. Although the proposed height of 6.3 metres is somewhat lower than that of a typical two-storey dwelling, the building remains sufficiently substantial in massing to warrant greater separation from the rear lot line.

A minimum rear yard setback of 3.0 metres is considered more appropriate, as it:

- provides a more meaningful buffer to the rear lot line,

- better reflects the building's scale, massing and purpose,
- reduces reliance on existing vegetation and other mitigation measures alone to address compatibility concerns; and
- represents a more moderate departure from the Zoning By-law while still allowing the structure to function appropriately for residential and garage purposes.

Staff also note that existing mature vegetation along the rear lot line provides additional screening between the properties. While this assists in mitigating impacts, staff are of the opinion that an appropriate built-form setback should be maintained regardless of whether such screening remains over time.

Accordingly, Planning staff would support an amended application that proposes a minimum rear yard setback of 3.0 metres, subject to the following conditions:

1. no windows or other openings be permitted on the wall facing the rear lot line; and
2. the height of the structure does not exceed 6.5 metres above established grade, as measured in accordance with the Zoning By-law and generally in accordance with the plans submitted with the application.

In the absence of these revisions, staff would not support the application as submitted.

PUC Distribution Inc. (Electric Utility) had no concerns with the proposed variance. However wished to advise that if the electrical service requires an increase in size or relocation, please consult their Conditions of Service (www.puc.ca) and contact PUC Engineering early in the planning process.

Public Utilities Commission (Water Utility) had no concerns with the proposed variance. However, the Owner must engage the services of a Professional Engineer licensed in the Province of Ontario or persons qualified under the Ontario Building Code to verify if their existing water service is adequate to supply the necessary water demand for the proposed additional unit. PUC must be provided with written confirmation from the Engineer confirming the outcome of their analysis. If the owner wishes to replace their water service, please contact the PUC Engineering Department at 705-759-6576 to coordinate the water service requirements.

Summary/Comments/Recommendations(s)

Planning staff opine that the request fails the 4 tests of a minor variance and as such do not support the request.

Planning staff would be supportive of an amended request to reduce the minimum rear yard setback for a 2-storey structure with an upper-level living unit from **10m** to **3.0m** conditional on,

- a) **windows and/or other openings are prohibited on the wall facing the rear lot line; and,**

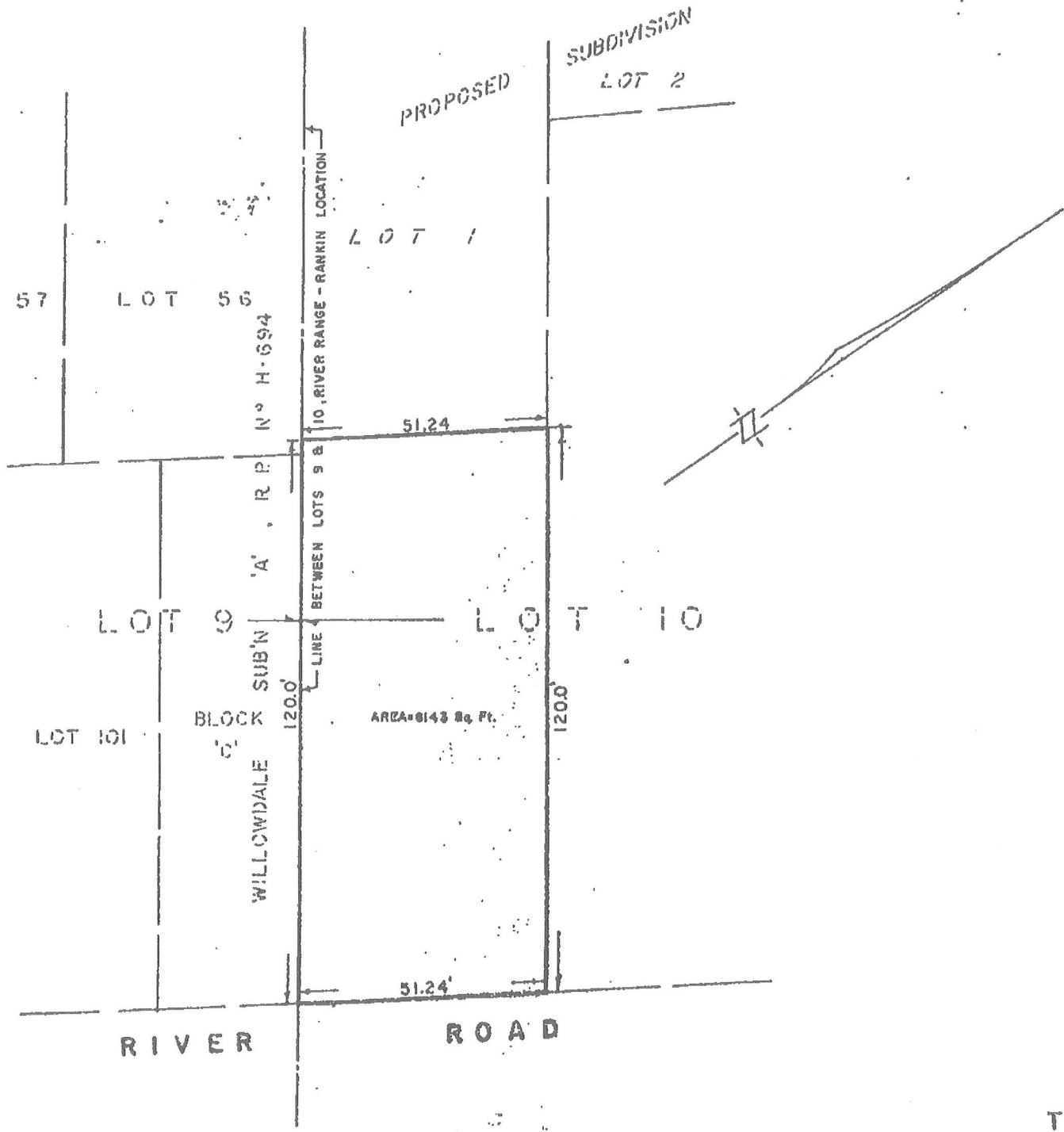
- b) the height of the structure cannot exceed 6.5 metres above established grade, as measured in accordance with the Zoning By-law and generally in accordance with the plans submitted with the application.**

SKETCH TO ILLUSTRATE
 PART OF LOT 10
 RIVER RANGE-RANKIN LOCATION
 NOW IN THE
 CITY OF SAULT STE. MARIE
 DISTRICT OF ALGOMA

August 29, 1978
 Sault Ste. Marie, Ontario

SCALE : 1 Inch = 30 Feet

J. P. Chambers
 J. P. Chambers
 Ontario Land Surveyor
 (firm of CHAMBERS & MILLER Limited)





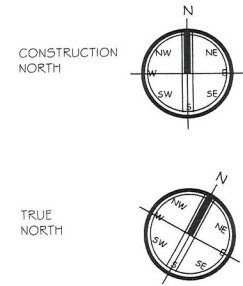
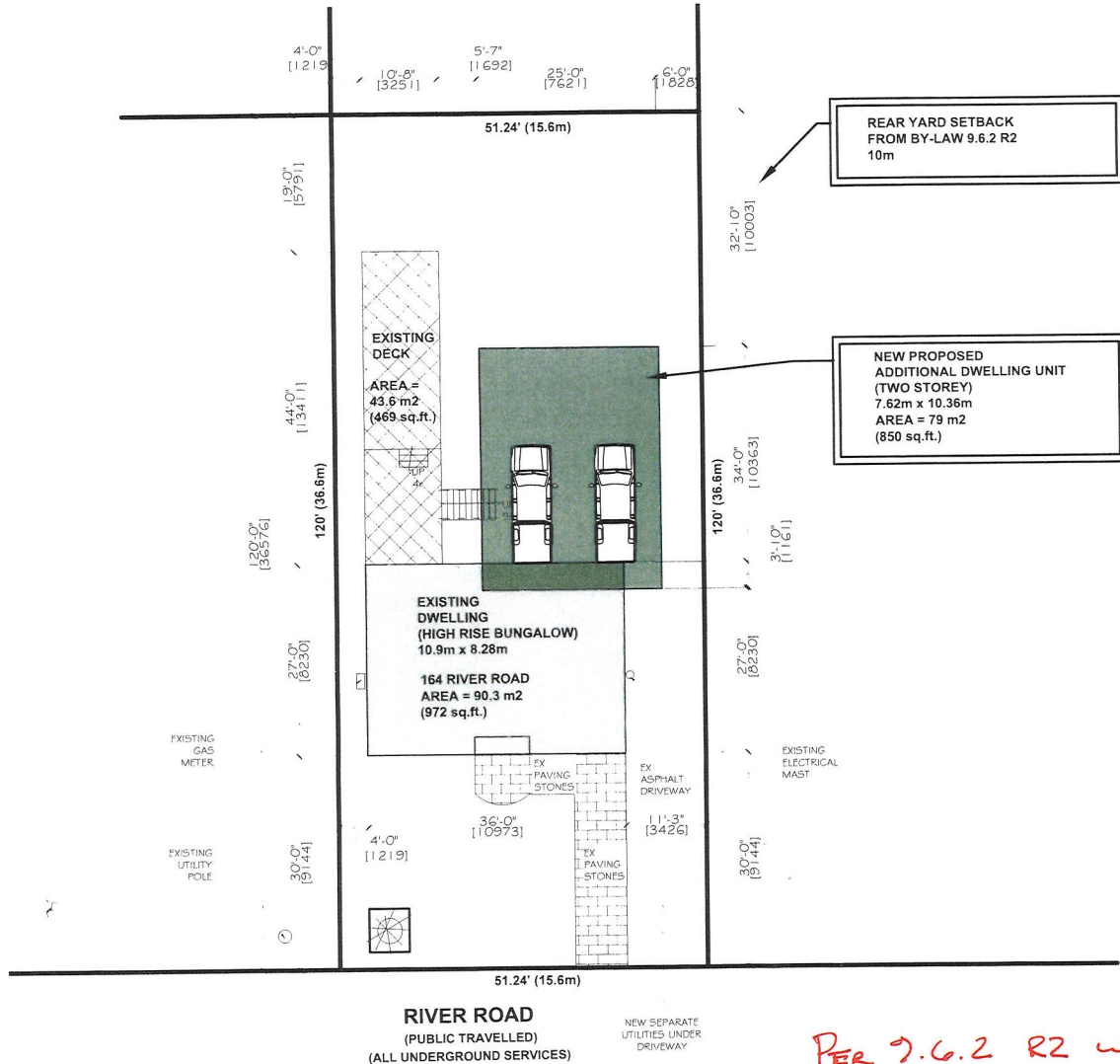
164 River Rd



Imagery ©2026 Airbus, Maxar Technologies, Map data ©2026 Google 10 m



PROPOSED
ADDITIONAL DWELLING UNIT
164 RIVER ROAD



ergo office plus

80 march street, suite 101
sault ste marie, ontario
canada p6a 2x2

t. 705.9+2.855+
f. 705.9+2.865

ergo@ergoofficeplus.com
www.ergoofficeplus.com

The undersigned has reviewed and taken responsibility for this design, and for the qualifications and needs the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
Required under design to comply with 2.1.1.1 of the building code	
Paul Scornaienchi	28647
NAME	SIGNATURE
	SCN
REGISTRATION INFORMATION	
Required under design to comply with 2.1.1.1 of the building code	
Ergo Office Plus	32643
FIRM NAME	SCN



164 RIVER ROAD
PART 1 OF LOT 10
RIVER RANGE - RANKIN LOCATION
PLAN H694
AREA = 6148.8 sq.ft. (571.25 m²)

AREA OF LOT = 571.25 m² (6148.8 sq.ft.)
AREA OF HOUSE = 90.3 m²
AREA OF DECK = 43.6 m²
AREA OF GARAGE/DWELLING = 79 m²
TOTAL AREA OF BUILDINGS = 212.9 m²
PERCENTAGE BUILDING TO LOT = 37.3%

PER 9.6.2 R2 WITH NO
MINOR VARIANCE REQUIRED
10m rear yard

River Road Proposed ADU

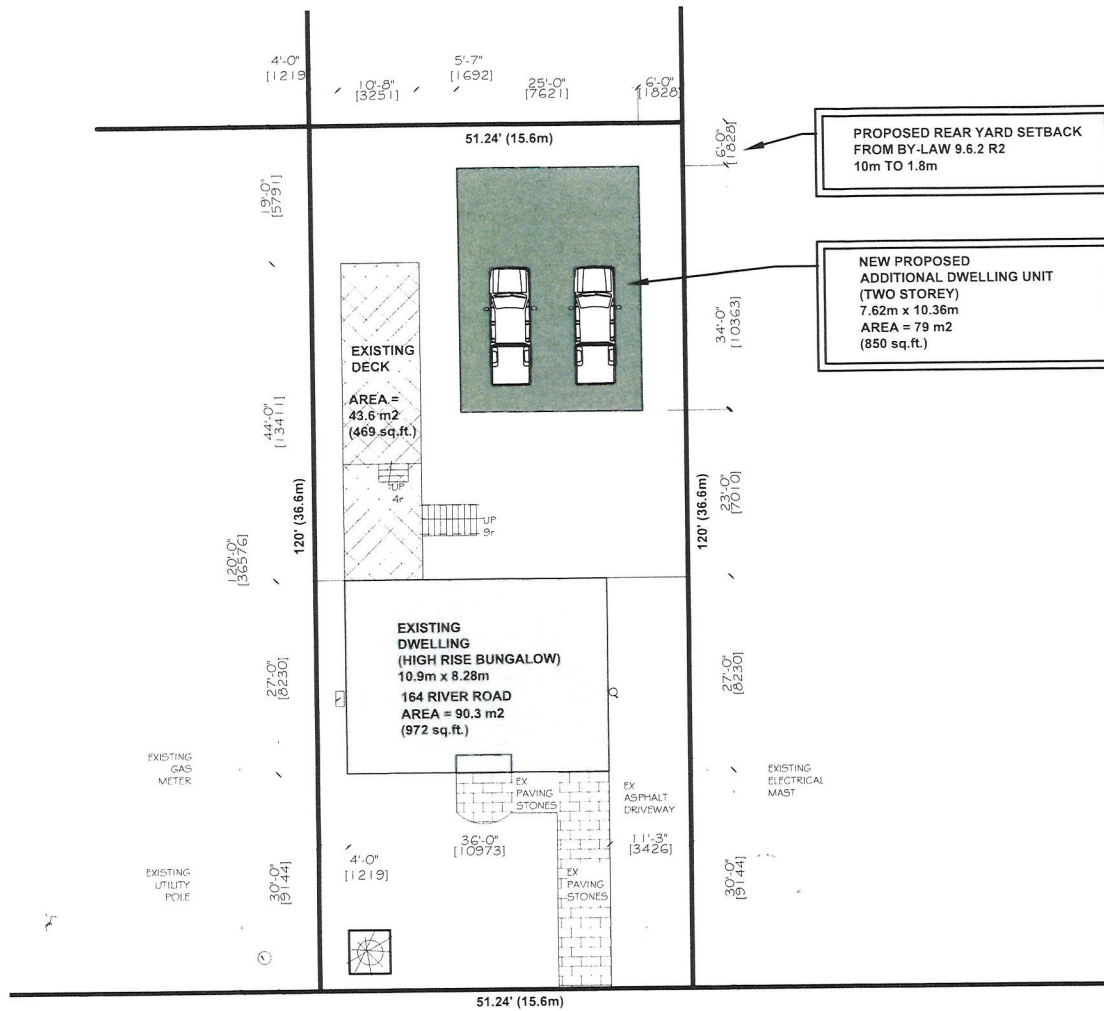
164 River Road
Sault Ste Marie, Ontario P6A 6C7

Site Plan

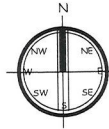
date plotted: 31 March 2026
scale: 1:200
drawn by: ST
checked by: PS
approved by:
date drawn: 31 March 2026
number: 001

contractor shall verify all dimensions and report all errors and discrepancies to the designer before commencing the work.

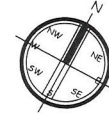
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CONSTRUCTION NORTH



TRUE NORTH



164 RIVER ROAD
PART 1 OF LOT 10
RIVER RANGE - RANKIN LOCATION
PLAN H694
AREA = 6148.8 sq.ft. (571.25 m²)

AREA OF LOT = 571.25 m² (6148.8 sq.ft.)
AREA OF HOUSE = 90.3 m²
AREA OF DECK = 43.6 m²
AREA OF GARAGE/DWELLING = 79 m²
TOTAL AREA OF BUILDINGS = 212.9 m²
PERCENTAGE BUILDING TO LOT = 37.3%

RIVER ROAD
(PUBLIC TRAVELLED)
(ALL UNDERGROUND SERVICES)

NEW SEPARATE
UTILITIES UNDER
DRIVEWAY

*PREFERRED ** PER 9.6.2 R2 WITH
MINOR VARIANCE REQUEST FOR
BACK YARD SET BACK OF 1.8 METERS



50 march street, suite 101
sault ste marie, ontario
canada p6a 2t2
tel 705.942.8554
fax 705.942.8269
ergo@ergoofficeplus.com
www.ergoofficeplus.com

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Paul Scornaienchi 28647
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Paul Scornaienchi 32643
FIRM NAME BCIN



River Road Proposed ADU

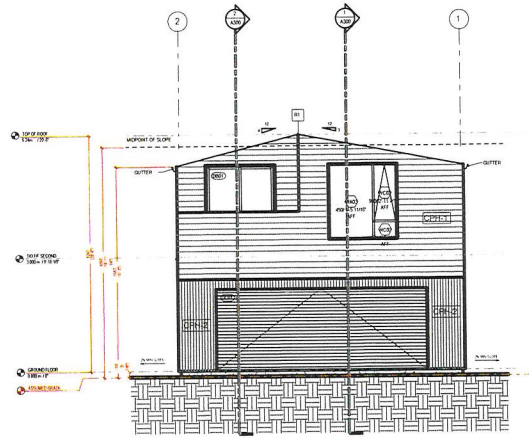
164 River Road
Sault Ste Marie, Ontario P6A 6C7

Site Plan

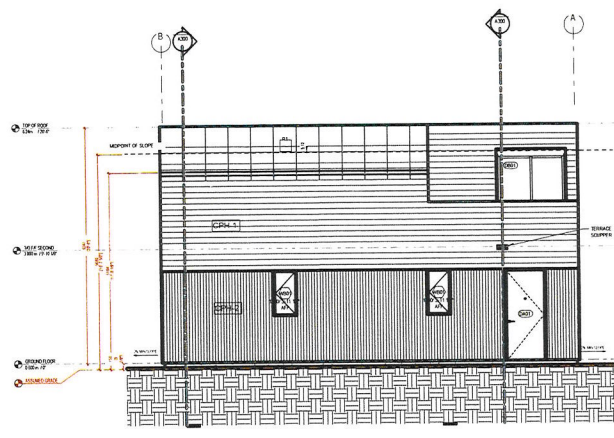
consultant shall verify all dimensions and report all errors and discrepancies to the designer before construction begins.

date plotted: 31 March 2026
scale: 1:200
drawn by: ST
checked by: PS
approved by:
date drawn: 31 March 2026
number 002

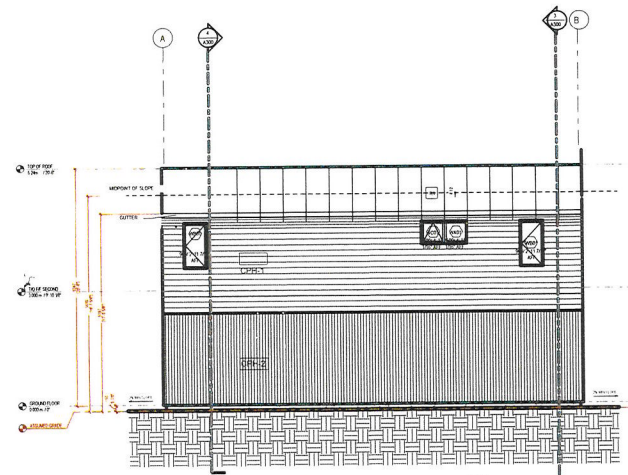
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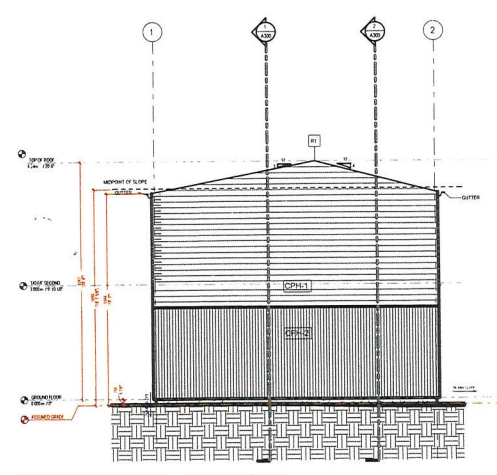
BUILDING ELEVATION - FRONT
1:50



BUILDING ELEVATION - SIDE 1
1:50



BUILDING ELEVATION - SIDE 2
1:50
(CBC 3.2.3.1 (B) - Unprotected Openings
3% of 10% MAXIMUM)
ALL WINDOWS FACTORY FROSTED



BUILDING ELEVATION - REAR
1:50
No Unprotected Openings

ELEVATION MATERIAL SCHEDULE	
ME	MEANLINE
CPH-1	CLADDING PLACEHOLDER TYPE 1
CPH-2	CLADDING PLACEHOLDER TYPE 2

NOTE: CLADDING FINISHES WITHIN ZONING OF GARAGE ARE TO BE MOISTURE RESISTANT

DISCLAIMER
This design was created for use solely as part of the CMHC Housing Design Catalogue. It is a sample of standardized housing design, reflecting general design intention only and does not incorporate any elements of other information specific to any location or project. This design is provided for illustrative purposes only and must not be used for construction or permitting purposes. In using this design, you are responsible for your compliance with the Terms and Conditions, including but not limited to engaging the services of a Qualified Professional.

NO.	DATE	DESCRIPTION
1	2024-03-31	Issued for Equipment

PROJECT
CMHC HOUSING
CATALOGUE

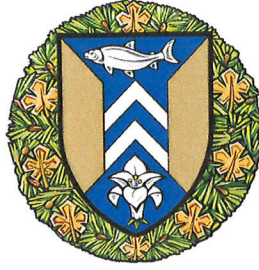
SHEET TITLE
ELEVATIONS (Draft)
164 RIVER ROAD
SAULT STE MARIE, ONTARIO
P6A 6C7
Proposed Additional Dwelling Unit

PROJECT NO: 241024
SCALE: 1:50

SHEET NO:
A200

The Corporation of the
City of Sault Ste. Marie

Committee of Adjustment



Secretary-Treasurer's
Report
Section 53 of the Planning Act
April 29, 2026

CONSENT

Application B5/26-33-(1-36)-15887-R2, R3, R4

DANIEL FREMLIN HOLDINGS INC. is the owner of Pt. Lt 9 RCP H715, Pt 2 1R6097; Pts. 2, & 3, 1R13989; and municipally identified as **CIVIC NO. 153 DACEY ROAD**. It is located on the southerly side of Dacey Road between Hardwood Street and Chambers Avenue. The subject property is designated Residential in the Official Plan and is zoned R2, Gentle Density, R3, Low Density Residential & R4, Medium Density Zone with a special exception.

INTENT:

The applicant is seeking the Committee's consent to sever and convey the westerly portion of the subject property fronting on Dacey Road which includes the former school, for future development considerations.

	Frontage (approximate)	Depth (approximate)	Area (approximate)
Severed Lands	81.5m	70m	0.57ha
Retained Lands	20.52m	irregular	2.77ha

Public Input

Notice of public hearing was sent by personal mail to neighbouring properties, by posting a sign on-site & posting on the City website.

Technical Review: Circulated Departments & Agencies

As part of the application review, this proposal was circulated to the following internal departments and external agencies for their review.

Division/Agency	Circulated	Response
Algoma Public Health	X	
Bell Canada Right-of-Way		
Building Division	X	Comments below
Canada Post		
Conservation Authority	X	Not in a regulated area so no concerns.

Engineering & Construction	X	No objections. See additional comments below
Fire Services	X	No comments or concerns
Legal Department	X	No comment
Planning Division	X	No objections. See additional comments below
PUC Distribution Inc. (Electric)	X	No concerns
Public Utilities Comm. (Water)	X	No concerns
Public Works		No comments

Building Division has no objection; conditional upon the finalization of the following permits found to be open as of today at the address. Permit # 2023-0046, 2023-0188, 2023-0950, 2023-0951

Engineering does not object to this severance. We do, however, have the following conditions for Final Consent:

- An existing Site Plan Agreement is registered on this property and will have to be amended to reflect the severance. The applicant should enter into a new Site Plan Agreement to be registered on the severed portion.
- A grading plan prepared by a professional engineer should be submitted to the satisfaction of the Director of Engineering or their designate. Drainage should be contained within each property's limits. Should it cross a shared property line prior to direction to the municipal right of way, a Drainage Agreement may be required. An Operation and Maintenance Agreement is also recommended to determine cost and responsibility for shared services.
- Environmental Compliance Approval (ECA) is required when two or more properties share a stormwater management system. If this has not already been completed, an ECA may be required. This process is independent of the municipality.

Potential property owners should be made aware of the following:

- There appears to be a rear yard swale along the northwestern property line of the severed property benefiting the neighboring property to the north on Dacey Road. Existing drainage patterns should be maintained.
- An existing private easement is located within the retained portion of the property and to the rear of the severed portion of the property, traveling northwest to southeast and containing a 300mm diameter PVC storm main and 200mm diameter sanitary main.

Planning staff have no objections to this application and note the following:

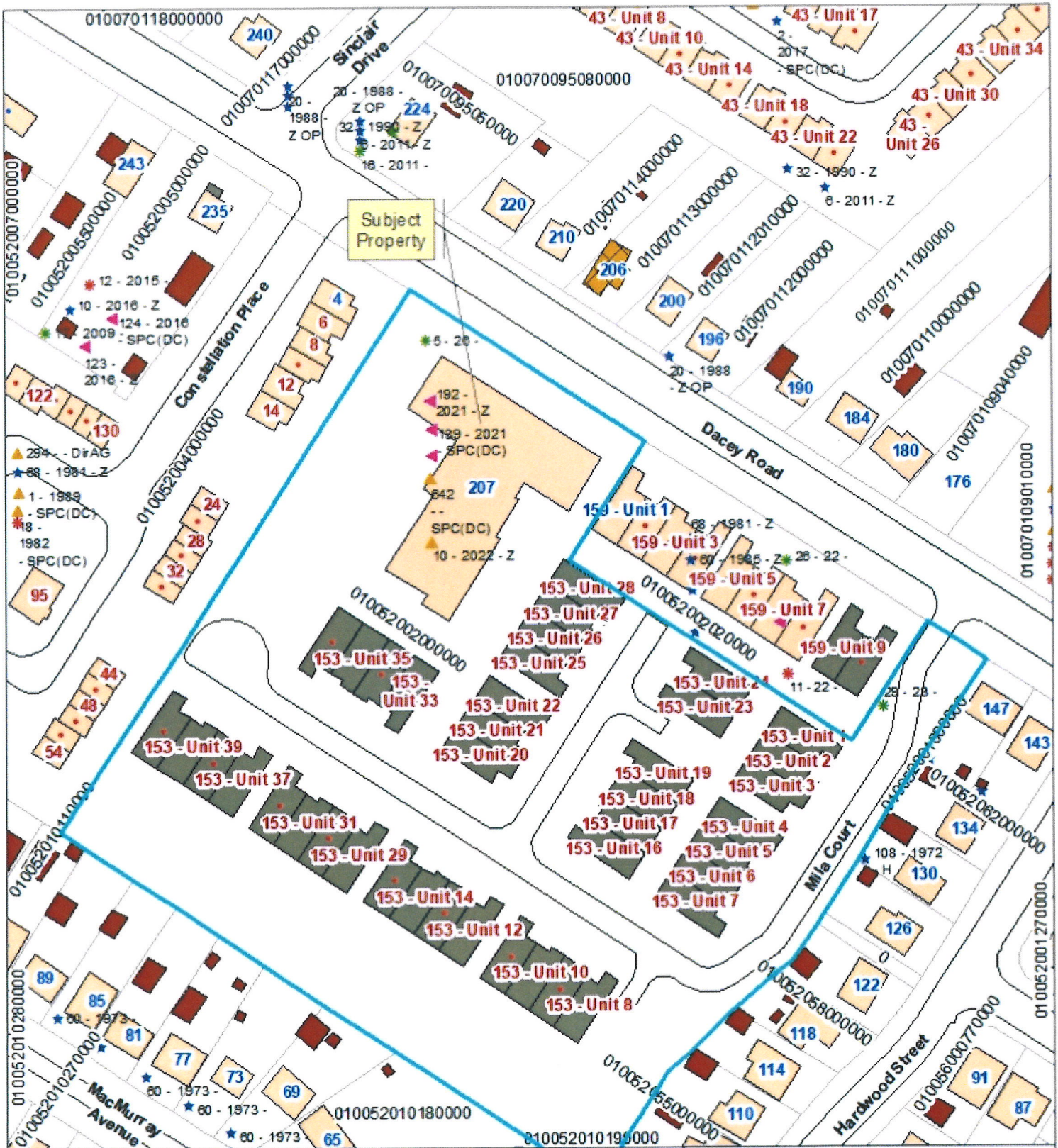
- The lands are currently subject to a site plan agreement that originally contemplated a unified, phased development. That said, Planning staff are satisfied that the resulting parcels can function independently, as each has separate servicing connections and separate access to a public road.
- Planning supports Engineering's recommended condition that the existing Site Plan Agreement must be amended to reflect the severance.
- Future development on the severed parcel will be subject to site plan control.

Staff Comments

There are no objections to the request. No evidence has been brought forward to suggest that approval would create a negative impact. The request conforms with the Zoning By-law and the Official Plan.

Recommended conditions to be attached to any approval are:

- Transfer/Deed of Land
- Parkland Levy
- Certificate application & review fee
- Reference plan
- Lot Grading and Drainage Plan and Agreement if deemed required
- Operation and Maintenance Agreement
- Environmental Compliance Approval (ECA) is required when two or more properties share a stormwater management system. If this has not already been completed, an ECA is required.
- Amend the existing Site Plan Agreement
- PIN abstract and PIN map
- Minor Variance Application (if required)
- Undertaking to provide advisements to potential purchasers
- Discharge of Charge/Mortgage
- Partial discharge of Charge/Mortgage
- Payment of municipal taxes
- Copy of receipted electronic transfer



Application Map Series

Subject Property

Property Information

Civic Address: 153 Dacey Road
 Roll No. 010 052 002 00 0000
 Map No.: 33/1-36
 Application No.: B5/26



Committee of Adjustment

Planning and Enterprise Services Division
 99 Foster Drive, Sault Ste Marie, ON P6A 5X6
 saultstemarie.ca | 705-759-5411 | m.kelly@cityssm.on.ca

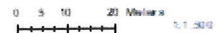
This map is for general reference only

Aerial photo: None

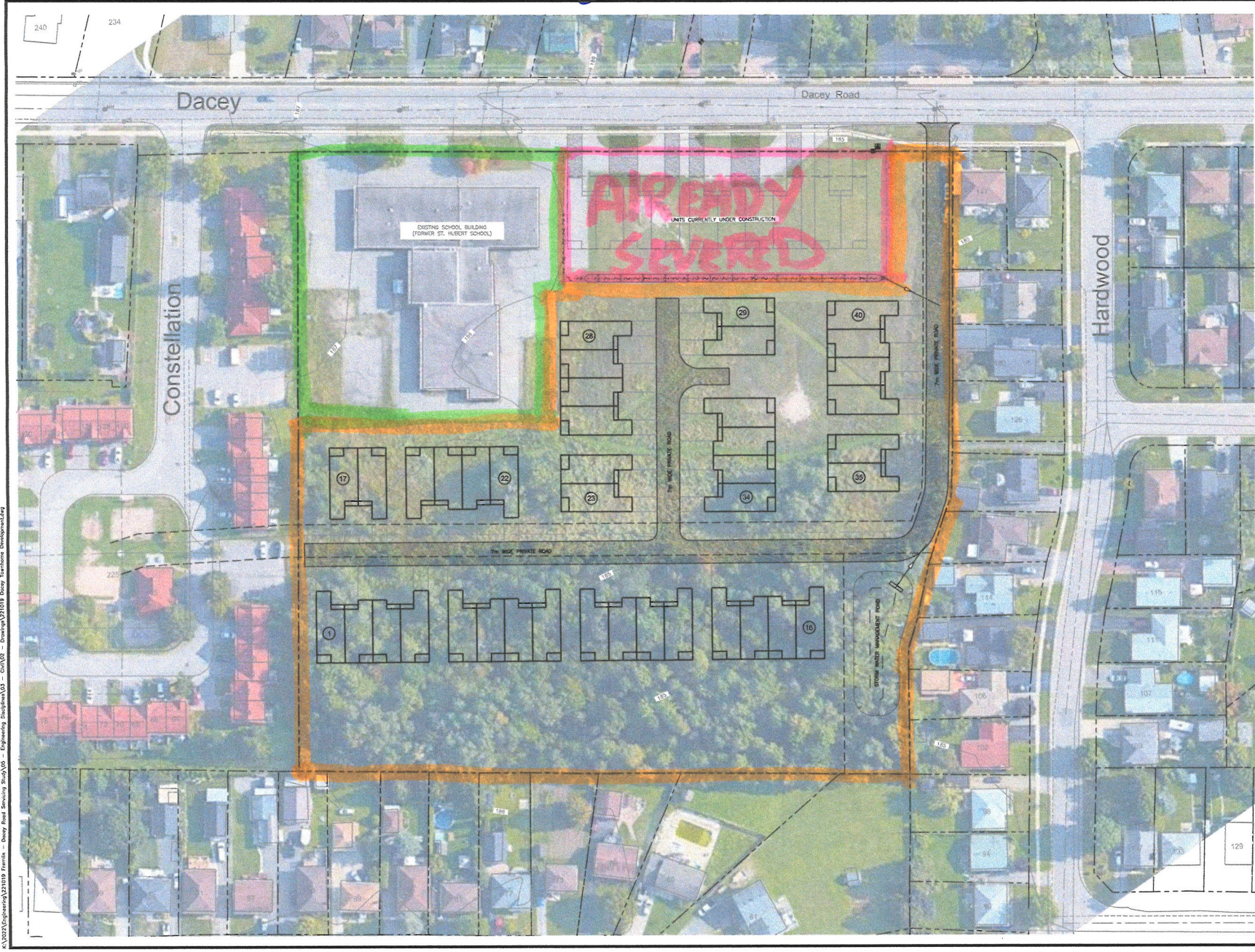
Projection Details:

NAD 1983 UTM Zone 18N

GCS North American 1983



GREEN SCHOOL TO BE SEVERED TO IT'S OWN PARCEL
 ORANGE REAR LAND TO BE ON IT'S OWN PIN/PARCEL.



C:\2022\Engineering\221019 Fremlin - Dacey Road Servicing Study\05 - Engineering\Siteplan\03 - Con\02 - Drawing\221019 Dacey Road Servicing Development.dwg



KEY PLAN

ENGINEER'S SEAL:

DATE	REV	REVISION	BY	APPD
2022-06-30	0	ISSUED FOR CLIENT REVIEW	KTN	JVM

CLIENT:

FREMLIN BUILDING GROUP
 415 MCCARREL LAKE ROAD
 ECHO BAY, ON

CONSULTANT:



PROJECT TITLE:

**207 DACEY ROAD
 RESIDENTIAL
 DEVELOPMENT**

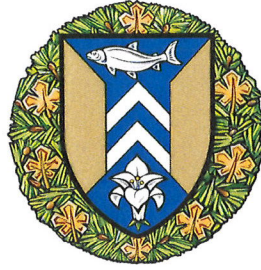
DRAWING TITLE:

**CONCEPTUAL
 SITE PLAN**

KTN	KTN	JVM	JVM
DRAWN	DESIGNED	CHECKED	APPROVED

SCALE	DATE
1:1000	JUNE 30, 2022

221019	0	Sk1
PROJECT NO.	REVISION	DRAWING



CONSENT

Application B6/26-22-(1-22)-13986-1

THE TRUSTEES OF THE EMMANUEL UNITED CHURCH OF THE UNITED CHURCH OF CANADA are the owners of Pt of Pt Sec 3 St. Mary's except Pts 1-3, 1R2611, S/T T164996 & municipally identified as **CIVIC NO. 224 BENNETT BOULEVARD**. It is located on the northwest corner of Bennett Boulevard and Boundary Road. The subject property is designated Residential in the Official Plan and is zoned I, Institutional & is subject to site plan control.

PURPOSE & EFFECT:

To sever and convey a northeasterly parcel fronting on Boundary Road together with easement(s) for ingress/egress purposes and potential servicing where required, to facilitate the construction of an ambulance bay. It is understood that previous approval of application B9/25 will not be acted on.

	Frontage (approximate)	Depth (approximate)	Area (approximate)
Severed Lands	41.95m (Boundary Rd)	50m	0.22ha
Retained Lands (irregular shape)	51.16m (Boundary Rd)	115.824 (Bennett Blvd)	1.03ha
Ingress/Access & Servicing Easements	In gross as required, to be determined		

Public Input

Notice of public hearing was sent by personal mail to neighbouring properties, by posting a sign on-site & posting on the City website.

Technical Review: Circulated Departments & Agencies

As part of the application review, this proposal was circulated to the following internal departments and external agencies for their review.

Division/Agency	Circulated	Response
Algoma Public Health		
Bell Canada Right-of-Way		

Building Division	X	
Canada Post		
Conservation Authority	X	Not regulated and not a significant DWSP threat activity.
Engineering & Construction	X	See comments below
Fire Services	X	No comments or concerns
Legal Department	X	No comment
Planning Division	X	No objections
PUC Distribution Inc. (Electric)	X	No concerns
Public Utilities Comm. (Water)	X	No concerns
Public Works		No comments

Engineering's conditions for Final Consent include the following:

- A grading and servicing plan prepared by a professional engineer should be submitted to the satisfaction of the Director of Engineering or their designate. Drainage should be contained within property limits. Should it cross a shared property line prior to direction to the municipal right of way, a Drainage Agreement may be required.
- The addition of new driveway entrances from the roadway are subject to the approval of the Director of Engineering or their designate. Any work within the municipal right-of-way will require municipal consent. Reconstruction of the roadway should be completed using only a single asphalt patch and target only two cut lines. Pipe, bedding and asphalt joint specifications as well as restoration details for said works should be provided.

Potential property owners should be made aware of the following:

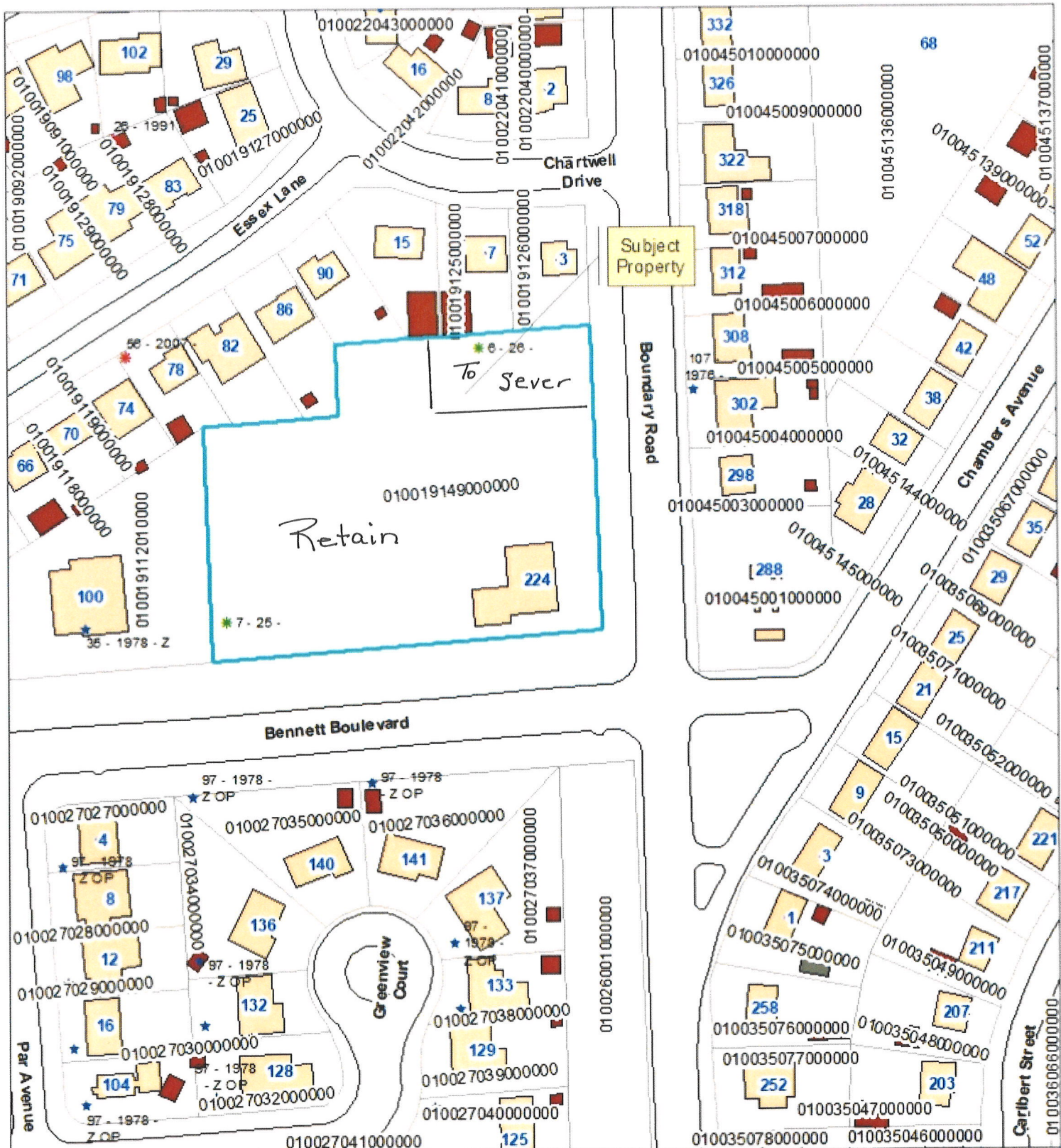
- There appears to be a rear yard swale along the northern property line benefiting neighboring properties on Chartwell Drive. Existing drainage patterns should be maintained.
- There are no sanitary or storm service laterals that service this property; however, there are sewer mains within the roadway where new laterals can connect to.
- There is an 1800mm diameter concrete storm main between the property and sanitary mains that may pose a challenge when installing the sanitary lateral.
- An existing storm easement is located within the retained portion of the property and to the rear of the severed portion of the property, traveling north to south and containing a 900mm diameter concrete storm main.
- There appears to be an abandoned pole located in the middle of the severed portion of the property that may need to be removed. It is unclear which, if any utility company owns this.

Staff Comments

There are no objections to the request. No evidence has been brought forward to suggest that approval would create a negative impact. The request conforms with the Zoning By-law and the Official Plan.

Recommended conditions to be attached to any approval are:

- Transfer/Deed of Land
- Parkland Levy
- Certificate application & review fee
- Reference plan
- Lot Grading and Drainage Plan and Agreement if deemed required
- PIN abstract and PIN map
- Minor Variance Application (if required)
- Undertaking to provide advisements to potential purchasers
- Discharge of Charge/Mortgage
- Partial discharge of Charge/Mortgage
- Payment of municipal taxes
- Copy of receipted electronic transfer



Application Map Series
 Subject Property

Property Information
 Civic Address 224 Bennett Boulevard
 Roll No 010 019 149 00 0000
 Map No.: 22/1-22
 Application No.: B6/26

Committee of Adjustment
 Planning and Enterprise Services Division
 99 Foster Drive, Sault Ste Marie, ON P6A 5X6
 saultstemarie.ca | 705-759-5411 | m.kelly@cityssm.on.ca

This map is for general reference only
 Orthophoto: None
 Projection Details:
 NAD 1983 UTM Zone 18N
 GCS North American 1983

0 5 10 20 Meters
 1:1,300

Application Map Series
 Subject Property

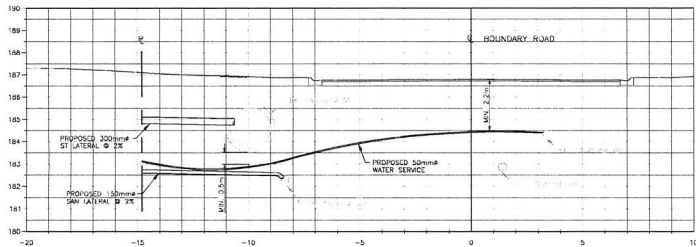
Property Information
 Civic Address 224 Bennett Boulevard
 Roll No 010 019 149 00 0000
 Map No.: 22/1-22
 Application No.: B6/26

GENERAL NOTES:

- INFORMATION PRESENTED ON THIS DRAWING IS BASED UPON INFORMATION RECEIVED FROM THE FOLLOWING SOURCES:
 - TOPOGRAPHIC DETAILS: TULLOCH
 - EXISTING SERVICES: CITY OF SAULT STE MARIE / TULLOCH / CLIENT
- THIS IS NOT A LEGAL DRAWING
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING SERVICES AND UTILITIES PRIOR TO PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING SERVICE VALVES WITHOUT CONTACTING AND OBTAINING PERMISSION FROM THE SPECIFIC UTILITY OWNERS.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO PERFORMING ANY WORK AND MAKE THEMSELVES FULLY AWARE OF ALL EXISTING ON-SITE CONDITIONS.
- ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS), AND ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) TO APPLY UNLESS OTHERWISE STATED.
- SEDIMENT CONTROL, ENVIRONMENTAL PROTECTION, EROSION CONTROL MEASURES ARE NOT SHOWN ON THESE PLANS; THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, PROVINCIAL AND MUNICIPAL ACTS, REGULATIONS AND BY-LAWS FOR THE PROTECTION OF THE NATURAL ENVIRONMENT.
- DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 3.048.

LEGEND

PROPERTY LINE	---
PROPERTY LINE (SUBJECT PROPERTY)	---
PROPERTY EASEMENT	---
EXISTING BUILDING	▭
EXISTING SANITARY	---
EXISTING WATERMAIN	---
EXISTING STORM	---
EXISTING SAN WH	○
EXISTING STORM WH	○
EXISTING OVERHEAD WIRES	---
EXISTING HYDRO POLE	○
EXISTING UTILITY POLE	○
EXISTING BELL WH	○
EXISTING BELL WH	○
EXISTING SUBMAIN	---
EXISTING CURB	---
EXISTING LODG. OF ASPHALT	---
PROPOSED SANITARY	---
PROPOSED STORM	---
PROPOSED WATER	---
PROPOSED SANITARY/STORM CLEANOUT	○
PROPOSED CURB STOP	○



BOUNDARY RD. CROSS-SECTION
SCALE: 1:100



KEY PLAN

ENGINEER'S SEAL

28-11-25	0	ISSUED FOR REVIEW	DS	A
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DATE REV. REVISION BY APP'D

CLIENT:

DSSAB
548 ALBERT ST. EAST, P6A 7A7
SAULT STE. MARIE

CONSULTANT:



PROJECT TITLE:

224 BENNET BLVD.

DRAWING TITLE:

**PRELIMINARY
SITE SERVICING
PLAN**

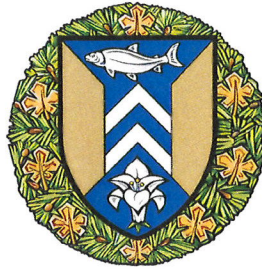
CAS	CAS	CV	JL
DRAWN	DESIGNED	CHECKED	APPROVED

1:250 SCALE DATE
NOV. 25, 2025

252565	0	C2
PROJECT No.	REVISION	DRAWING



P:\2025\252565\CV\04 Drawing\252565 - 224 Bennett Blvd.dwg - 514 - 5/14/2025.dwg



CONSENT

Application B11/26-136-(2-37)-32742-R3, S319

TRUDY ROCCHETTA is the owner of PTS 2 and 3, 1R13944; municipally identified as **CIVIC NO. 8 BLUFFS DRIVE EAST**. It is located on the south side of Bluffs Drive East approximately 17.09m from the Crimson Ridge Drive and Bluffs Drive East intersection. The subject property is designated Rural Area in the Official Plan and is zoned R3, S319 Low Density Residential Zone with a special exception.

INTENT:

The intent of the application is to correct a title error arising from the inadvertent conveyance of Part 2, 1R13944 to the abutting property when it was Part 4, 1R13944 that should have been conveyed. Subsequently a deed to correct this was registered without consent and thereby constitutes a breach of the Act. The validation certificate will fulfil the objective of the original consent approval met (B13/21), permit the breach to be rectified and correct title.

Notice of public hearing is not required.

Technical Review: Circulated Departments & Agencies

As part of the application review, this proposal was circulated to the following internal departments and external agencies for their review.

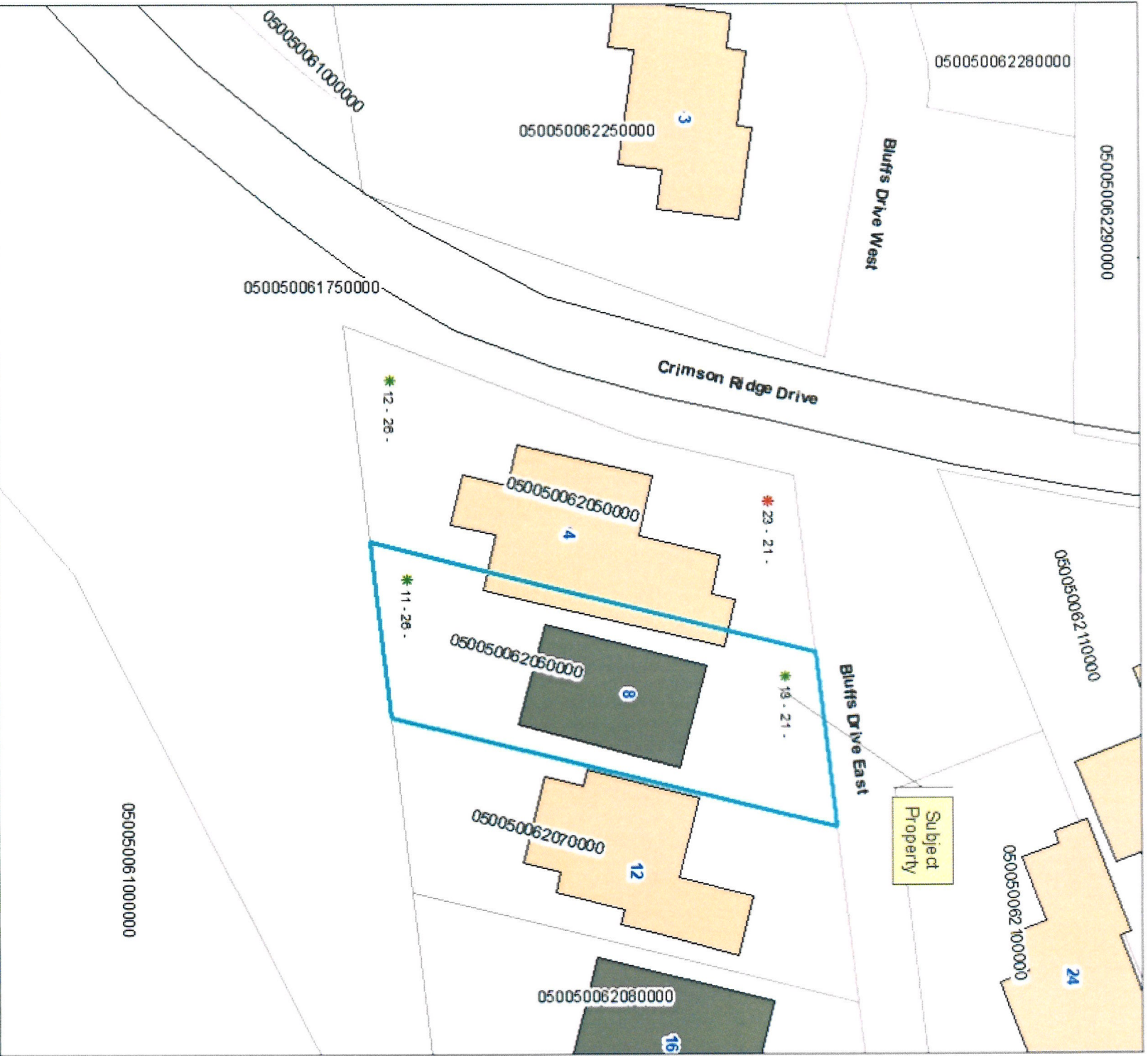
Division/Agency	Circulated	Response
Algoma Public Health		
Bell Canada Right-of-Way		
Building Division	X	No objections
Canada Post		
Conservation Authority	X	No objections
Engineering & Construction	X	No concerns.
Fire Services	X	No comments or concerns
Legal Department	X	
Planning Division	X	No concerns
PUC Distribution Inc. (Electric)	X	
Public Utilities Comm. (Water)	X	
Public Works		

Staff Comments

There are no objections to the request. No evidence has been presented to suggest that approval would create a negative impact. The request conforms with the Zoning By-law and the Official Plan

Recommended conditions to be attached to any approval are:

- Transfer/Deed of Land
- Certificate application & review fee
- Reference plan
- PIN abstract and PIN map
- Copy of receipted electronic transfer



Application Map Series
 Subject Property

Property Information
 Civic Address: 8 Bluffs Dr. E
 Roll No. 050 050 062 06 0000
 Map No.: 136/3-37
 Application No.: B11/26



Committee of Adjustment

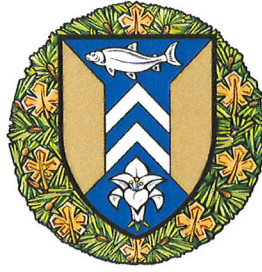
Planning and Enterprise Services Division
 99 Foster Drive, Sault Ste Marie, ON P6A 5X 6
 sault@emarc.ca | 705-759-5411 | m.kelly@cityssm.on.ca

This map is for general reference only.
 Copyright: None
 Projection Details
 NAD 1983 UTM Zone 18N
 GCS North America 1983



The Corporation of the
City of Sault Ste. Marie

Committee of Adjustment



Secretary-Treasurer's
Report
Section 53 of the Planning Act
April 29, 2026

CONSENT

Application B12/26-136-(2-37)-32741-R3, S319

SARA BULLOCK is the owner of Part Lot 2, 1M592; municipally identified as **CIVIC NO. 4 BLUFFS DRIVE EAST**. It is located on the southeast corner of Crimson Ridge Drive and Bluffs Drive East. The subject property is designated Rural Area in the Official Plan and is zoned R3, S319 Low Density Residential Zone with a special exception.

INTENT:

The intent of the application is to correct a title error arising from the inadvertent conveyance of Part 2, 1R13944 to the subject property when it was Part 4, 1R13944 that should have been conveyed. Subsequently a deed to correct this was registered without consent and thereby constitutes a breach of the Act. The validation certificate will fulfil the objective of the original consent approval met (B13/21), permit the breach to be rectified and correct title.

Notice of public hearing is not required.

Technical Review: Circulated Departments & Agencies

As part of the application review, this proposal was circulated to the following internal departments and external agencies for their review.

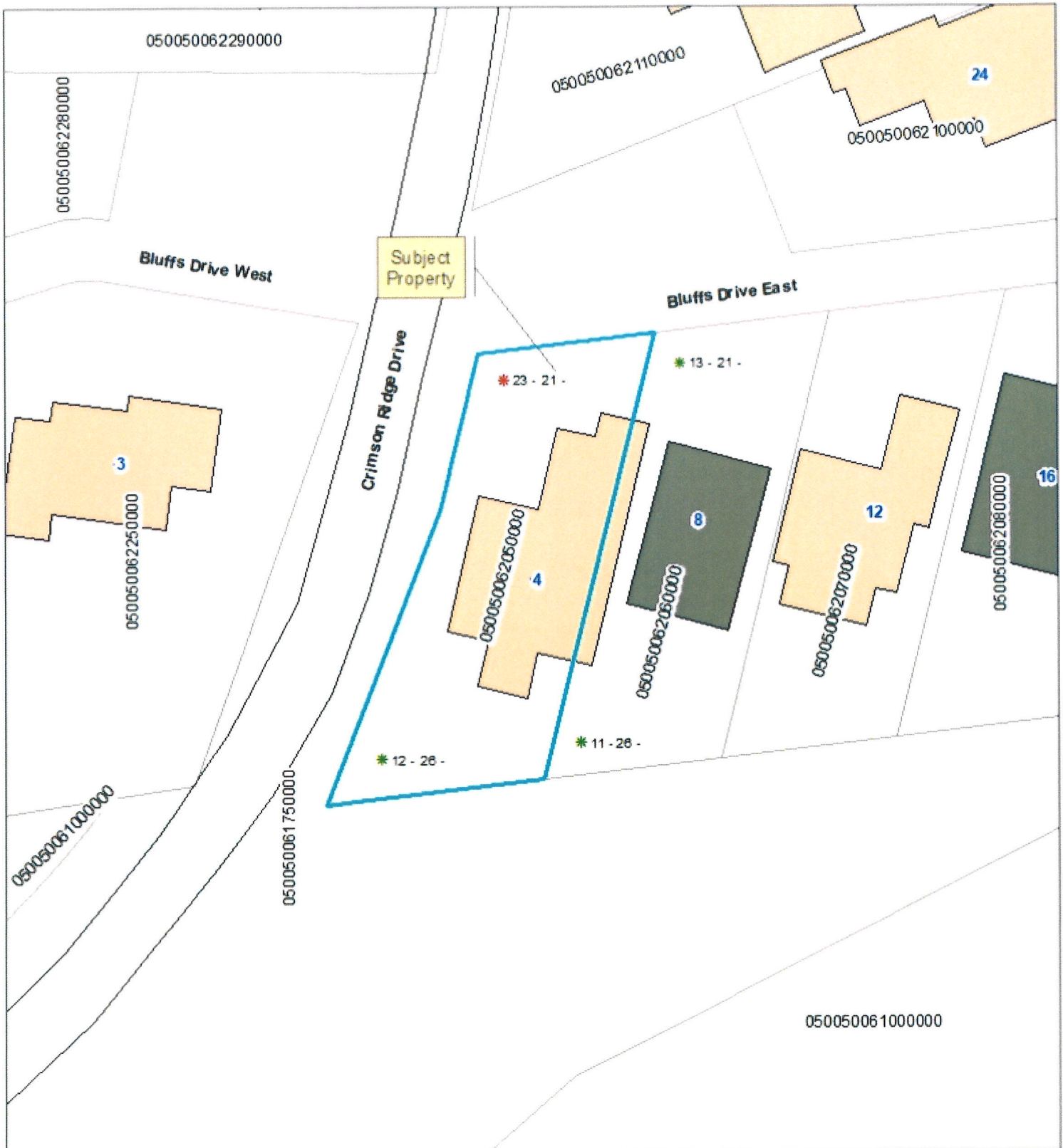
Division/Agency	Circulated	Response
Algoma Public Health		
Bell Canada Right-of-Way		
Building Division	X	No objections
Canada Post		
Conservation Authority	X	No objections
Engineering & Construction	X	No concerns.
Fire Services	X	No comments or concerns
Legal Department	X	
Planning Division	X	No concerns
PUC Distribution Inc. (Electric)	X	
Public Utilities Comm. (Water)	X	
Public Works		

Staff Comments

There are no objections to the request. No evidence has been presented to suggest that approval would create a negative impact. The request conforms with the Zoning By-law and the Official Plan

Recommended conditions to be attached to any approval are:

- Transfer/Deed of Land
- Certificate application & review fee
- Reference plan
- PIN abstract and PIN map
- Copy of receipted electronic transfer



Application Map Series

Subject Property

Property Information

Civic Address: 4 Bluffs Dr. E
 Roll No. 050 050 062 05 0000
 Map No.: 136/3-37
 Application No.: B12/26



Committee of Adjustment

Planning and Enterprise Services Division
 99 Foster Drive, Sault Ste Marie, ON P6A 5X6
 saultstemarie.ca | 705-759-5411 | m.kelly@cityssm.on.ca

This map is for general reference only

Aerial photo: None

Projection Details:

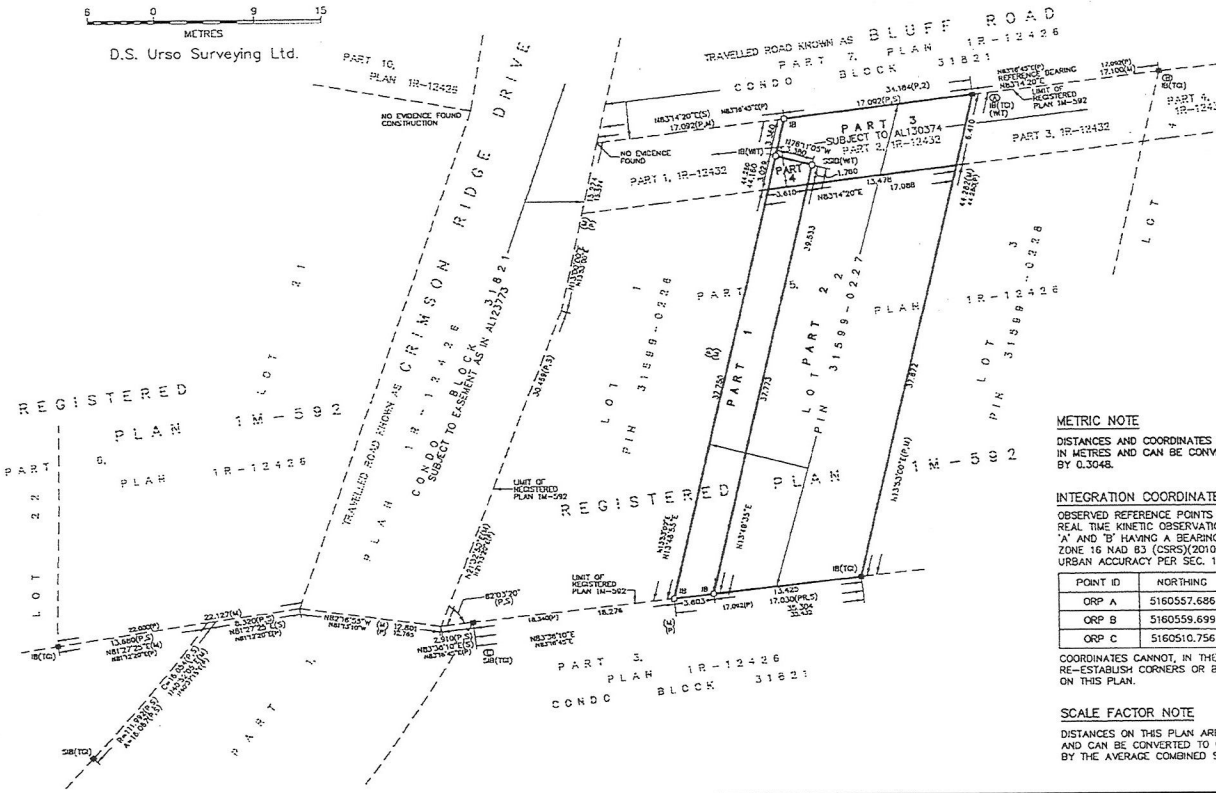
NAD 1983 UTM Zone 18N
 GCS North American 1983



PLAN OF SURVEY OF
LOT 2
REGISTERED PLAN 1M-592
 CITY OF SAULT STE. MARIE
 DISTRICT OF ALGOMA
 SCALE: 1 : 300



D.S. Urso Surveying Ltd.



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

June 14, 2022

DATE

Asel

D.S. URSO - ONTARIO LAND SURVEYOR

PLAN 1R-13944

RECEIVED AND DEPOSITED

16 June 2022

DATE

[Signature]

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF ALGOMA (NA 1)

SCHEDULE

PART	LOT	PLAN	Sq.m.	PIN
1	PART OF 2	REGISTERED PLAN 1M-592	127.66	PART OF 31599-0227
2	PART OF 2		476.85	PART OF 31599-0227
3	PART OF 2		94.45	PART OF 31599-0227
4	PART OF 2		8.09	PART OF 31599-0227

PARTS 1 THROUGH 4 COMPRISE ALL OF PIN 31599-0227
 PARTS 3 AND 4 SUBJECT TO AL130374

- LEGEND
- DENOTES FOUND EVIDENCE
 - DENOTES PLANTED MONUMENT
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - M DENOTES MEASURED
 - P DENOTES REGISTERED PLAN 1M-592
 - PR DENOTES PROPORTION
 - S DENOTES SET
 - WT DENOTES WITNESS
 - TC DENOTES TULLOCH CEOMATICS INC.
 - NSM DENOTES NOT SUITABLE FOR MONUMENTATION
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER

METRIC NOTE

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

INTEGRATION COORDINATE TABLE

OBSERVED REFERENCE POINTS (ORP) DERIVED FROM REAL TIME KINETIC OBSERVATIONS USING MONUMENTS 'A' AND 'B' HAVING A BEARING OF N83°4'20"E UTM ZONE 16 NAD 83 (CSRS)(2010.0) COORDINATES TO URBAN ACCURACY PER SEC. 1(2) OF OREG. 216/10.

POINT ID	NORTHING	EASTING
ORP A	5160557.686	701512.445
ORP B	5160559.699	701529.426
ORP C	5160510.756	701466.767

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SCALE FACTOR NOTE

DISTANCES ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE AVERAGE COMBINED SCALE FACTOR OF 0.9999928.

BEARING NOTE

BEARINGS ARE UTM GRID DERIVED FROM REAL TIME KINETIC OBSERVATIONS ON MONUMENTS 'A' AND 'B', SHOWN HEREON, HAVING A BEARING OF N83°4'20"E AND ARE REFERRED TO THE CENTRAL MERIDIAN 87° WEST LONGITUDE OF UTM ZONE 16 NAD 83 (CSRS)(2010.0).

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON JUNE 2, 2022.

June 14, 2022

Sault Ste. Marie, Ontario

Asel

D.S. URSO
 ONTARIO LAND SURVEYOR

D.S. Urso Surveying Ltd.
 Ontario Land Surveyors + Canada Land Surveyors
 Planning Consultants

318 1st FORTY LINE EAST TEL (705) 254-2851
 SAULT STE. MARIE, ONT. P6A 6J8 FAX (705) 254-5571

DRAWN: KT FIELD: JUC/LL FILE NO: U-11804
 CHECKED: USU

➤ **Other Business**

- Next regular meeting is May 27th, 2026

➤ **Adjournment**